

City of Deltona

2345 Providence Blvd.
Deltona, FL 32725

Agenda

Development Review Committee

Thursday, July 7, 2016

9:00 AM

2nd Floor Conference Room

1. CALL TO ORDER:

2. ROLL CALL:

3. APPROVAL OF MINUTES & AGENDA:

A. [Minutes of May 19, 2016](#)

4. PRESENTATIONS/AWARDS/REPORTS:

5. PUBLIC FORUM:

6. OLD BUSINESS:

7. NEW BUSINESS:

A. [Halifax Deltona I-4 Campus, Final Site Plan application \(FSP16-001\).](#)

B. [The Center at Deltona, Final Site Plan application \(FSP16-003\).](#)

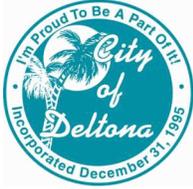
8. STAFF COMMENTS:

9. BOARD/COMMITTEE MEMBERS COMMENTS:

10. ADJOURNMENT:

NOTE: If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk, Joyce Raftery 48 hours in advance of the meeting date and time at (386) 878-8500.



City of Deltona

2345 Providence Blvd.
Deltona, FL 32725

Minutes

Development Review Committee

Thursday, May 19, 2016

9:00 AM

2nd Floor Conference Room

1. CALL TO ORDER:

The meeting was called to order at 9:00 am.

2. ROLL CALL:

Also present: Ron Paradise, Planning and Development Services; Scott McGrath, Planning and Development; Phyllis Wallace, Public Works; Chris Cornett, Public Works; Jerry Mayes, City Manager's Office; Jane Shang, City Manager's Office; Kathrine Kyp, Planning and Development Services; Ron Henson, AVID Group; Pete Pensa, AVID Group and Quint Roberts, Saxon Plaza, LLC.

Present: 4 - Member Leigh Grosvenor
Member Chris Bowley
Member Tom Pauls
Member Steve Roland

Excused: 1 - Member Gerald Chancellor

3. APPROVAL OF MINUTES & AGENDA:

A. Minutes for April 21, 2016

Motion by Member Pauls, seconded by Member Roland, to approve the Minutes for April 21, 2016. The motion carried by the following vote:

For: 4 - Member Grosvenor, Member Bowley, Member Pauls and Member Roland

4. PRESENTATIONS/AWARDS/REPORTS:

None.

5. PUBLIC FORUM:

6. OLD BUSINESS:

7. NEW BUSINESS:

A. Pre-application meeting - 2120 Saxon Blvd. Lot 4.

Mr. Pensa provided a brief description regarding the fast food restaurant development proposed for Lot 4 of the Saxon Plaza development. Mr. Bowley provided a history regarding the development and the need for cross access easements as none was recorded on the plat. Mr. Roberts indicated that the cross access easements are noted within the declarations and it does allow cross access to all of the lots within the Saxon Plaza. Mr. Bowley stated that the applicant needs to provide that information in the application package.

Mr. Paradise stated that the proposed use brings level of service concerns, and stated that the application will need to have a Traffic Impact Analysis (TIA) submitted. Mr. Roberts asked if FDOT is still planning to adjust their I-4 off ramp construction to affect the Wendy's establishment. Discussion ensued regarding FDOT's plans for the area and reference was made to contact FDOT directly for the most current information on that project.

Ms. Wallace noted the need to provide an updated analysis of the private lift station supporting additional capacity with this use, updated stormwater calculations, the location of the nearest water connection and her concern of the south drive access, due to the safety of the nearby childcare business in the plaza. Discussions regarding wetland conservation easements, 100 year flood plain and Lake Trout, occurred between Mr. Roberts and the committee. Mr. Roberts indicated that the south drive access will most likely be removed upon submittal.

Ms. Cornett noted that the development needs to maintain 15% open space, a tree survey submitted and environmental surveys completed and submitted.

Ms. Grosvenor noted that access to the back of the building needs to be afforded for fire trucks. Mr. Roberts stated that there will be adjustments to the plans to accommodate the city's requirements. Discussion regarding the TIA requirements and area road improvements, signage, vehicular maneuverability, interior circulation, illumination and landscaping occurred amongst the members. Mr. Pensa asked if there was any allowance for buffer averaging. Discussion regarding the 25 foot landscape buffer and how it relates to the parcel occurred.

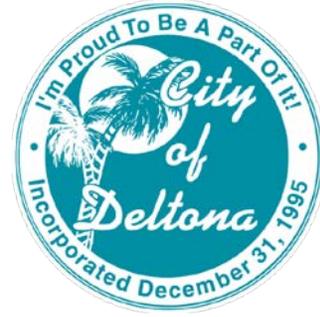
8. STAFF COMMENTS:**9. BOARD/COMMITTEE MEMBERS COMMENTS:****10. ADJOURNMENT:**

The meeting adjourned at 9:46 am.

Chris Bowley, Chairperson

ATTEST:

Kathrine Kyp, Board Secretary



Staff Report

To: Development Review Committee (DRC)
From: Scott McGrath, CFM, Planner II
Date: June 30, 2016
Re: Halifax Deltona I-4 Campus Final Site Plan (FSP 16-001)

A. Summary of Application:

Applicant: Anthony Lampasona
839 North Jefferson Street, Suite 600
Milwaukee, WI 32115

Request: The City has received a Final Site Plan Application for a free standing Emergency Room, first phase.

Tax Parcel No.: 06183108000120

Property Acreage: 32.48± Acres

Property Location: 3300 Halifax Crossings Blvd.

Legal Description: See attachment

B. Existing Zoning: Business Planned Unit Development (BPUD)

C. Background: The DRC review team has the following comments.

Planning and Development Services:

No further comments

Deltona Water & Engineering:

No further comments

Environmental:

1. As noted, a check in the amount of \$22,225.28 will need to be paid to the City for tree replacement prior to the DO being issued. As discussed in phone conversations, if the trees within the existing natural landscape buffers need to be removed and the proposed landscaping is to be installed there will be mitigation for the trees within the existing landscape buffers. On Sheet TP1 of 1, there is a mitigation chart that shows there is an additional 67 cssi that will be mitigated for if the proposed landscape buffers need to be altered. The amount of possible additional mitigation is \$1,208.68.
2. Repeat comment. A new gopher tortoise survey will need to be done within 90 days of construction. The updated survey and permit will need to be provided to Chris Cornett prior to the Site Engineering permit being issued.

Building Department:

No comments at this time

Fire Safety:

1. **Verbiage to be included in Development Order.** The site plan application submittal does not include the previously proposed hospital and medical office building. Any future development on this site, including additional buildings, communicating pathways, fire department accesses, water distribution systems, fire protection systems, utilities, details, and related information shall be evaluated and reviewed as an overall development plan and separate submittal. Approval of Phase I shall not be construed as automatic approval of any future development of this project or site.
2. **Verbiage to be included in Development Order.** More than one fire department access road shall be provided when it is determined by the authority having jurisdiction that access by a single road could be impaired by vehicle congestion, condition of terrain, climatic conditions, or other factors that could limit access (NFPA 1, Fire Code, 2012 Ed., Section 18.2.3.3).

A secondary means of fire department access shall be required for any future development. The Developmental Order shall include that in the future there will be a secondary access with a connection to Allings Dr., as previously designated during the Preliminary Plat (PP15-001) approval process.

3. Fire hydrants and connections to other approved water supplies shall be accessible to the fire department (NFPA 1, Fire Code, 2012 Edition, Section 18.5.2), and shall not hinder or prevent the immediate use by fire department personnel. Relocate the private hydrant to the grass area (left of the sidewalk) in the parking lot for fire department accessibility.
4. On the Utility Plan, identify the fire line pipe size and lengths, and the fire line connections (valves, tees) to the fire hydrant fire lines.

5. In the case of a business or industrial development, excluding developments in a. above, hydrants shall be installed at intervals not to exceed 300 feet with a minimum main size of eight inches. (Ord. No. 96, Sec. 96-45 (2) (a-f), Fire Protection Systems).

The main supplying the Double Detector Check Assembly and the private hydrant shall be 8 in.

6. The Fire Hydrant Assembly Detail on Sheet C14 states “Fire Hydrants Shall Meet Volusia County Specifications”. The detail notes shall also state “Private Hydrants Shall Meet City of Deltona Specifications”.
7. The Double Detector Check Assembly (Dedicated Fire Flow Assembly) is located on private property. The detail provided on Sheet C14 shall be a City of Deltona (Deltona Water) detail.

CONCLUSION/STAFF RECOMMENDATION:

Staff recommends that the DRC approve with conditions, the Halifax Deltona I-4 Campus Final Site Plan Application, (FSP 16-001) upon satisfying the comments cited in this staff report.



Staff Report

To: Development Review Committee (DRC)

From: Chris Bowley, AICP, Director
Planning & Development Services

Date: July 1, 2016

Re: The Center at Deltona Final Site Plan (FSP 16-003)

A. Summary of Application:

Applicant: City of Deltona

Request: Approval of the Final Site Plan for the Center at Deltona.

B. Background: The City of Deltona desires to construction a ±29,000 SF new community center, titled the Center at Deltona. Staff is working with a project team lead by CT Hsu & Associates architects and includes the site civil engineering firm of Zev Cohen & Associates. The following comments were generated from the DRC members for the Final Site Plan submittal (FSP 16-003). With the following comments addressed, this item is scheduled for the July 7, 2016, DRC meeting:

Public Works Department:

1. No new comments. However, the applicant is advised that there some Gopher Tortoises to excavate before January 2017. The City is waiting on confirmation of a recipient site before this work effort can resume.
2. The applicant has adequately addressed prior engineering comments; no new comments at this time.

Planning & Development Services Department:

1. Replace the Duranta Erecta with Nandina Firepower throughout the entire site.
2. Add the Red Rocket Crepe Myrtle, in addition to the Choctaw, throughout the design.

3. Replace the Drake Elms with palm trees throughout the parking lots; unless there is a tree that will provide shade and not become dwarfed in the islands and planted at a mature height.
4. At locations where people may take pictures, ensure that the sizes of the plants are more mature and vibrant.
5. The plants should be planted in areas of similar irrigation needs, have low maintenance, and that we have enough time to make sure it's right before its planted.
6. Clearly depict the "property lines" for lot 7, instead of "boundary lines".
7. Sheet C-5: Identify the in-bound vehicular reservoir areas per the LDC and show vehicle stacking or dimensions on the plan.
8. Sheet C-5: Identify the no parking zone surface markings and signage for the northern most paved area.
9. Sheet C-5: Identify all electric underground lines and all sewer lines and their connections to mains.
10. Illumination Plan: Per Section 110-828(b)(2) of the LDC, expand the illumination plan to ensure that light does not exceed 1.0 foot candle at all property lines.
11. Landscape Plan: Per Section 110-808 of the LDC, identify the type and size plant materials to be installed for all bufferyards.
12. Former comment restated: Provide a stub-out at the south parking lot leading from the drive aisle. This area is hatched and there should be a landscape island located for future driveway connection. This may affect your parking calculations, unless you add the three spaces next to the handicap parking near the pond.
13. Former comment restated: Correct the water feature design. A new solution is to berm the entryway and position the monument sign on the berm with landscaping.

Fire Safety

1. See the attached memorandum.
2. The main on Howland is a 12" and it is an 8" going down Dr. Martin Luther King to the site. Please verify and indicate/label the right size on the plans.

CONCLUSION/STAFF RECOMMENDATION:

Conditioned upon the above listed comments being addressed, staff recommends approval of Final Site Plan 16-003 for the Center at Deltona project.