

City of Deltona

2345 Providence Blvd.
Deltona, FL 32725

Agenda

Development Review Committee

Member Leigh Grosvenor
Member Gerald Chancellor
Member Chris Bowley
Member Tom Pauls
Member Steve Roland

Thursday, March 17, 2016

9:00 AM

2nd Floor Conference Room

1. CALL TO ORDER:

2. ROLL CALL

3. APPROVAL OF MINUTES & AGENDA:

Minutes for March 3, 2016.

4. PRESENTATIONS/AWARDS/REPORTS:

5. PUBLIC FORUM:

6. OLD BUSINESS:

7. NEW BUSINESS:

Pre-application meeting for the Deltona Freestanding Emergency Room (FSER).

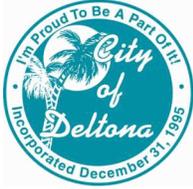
8. STAFF COMMENTS:

9. BOARD/COMMITTEE MEMBERS COMMENTS:

10. ADJOURNMENT:

NOTE: If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk, Joyce Raftery 48 hours in advance of the meeting date and time at (386) 878-8500.



City of Deltona

2345 Providence Blvd.
Deltona, FL 32725

DRAFT Minutes - Draft

Development Review Committee

Thursday, March 3, 2016

9:00 AM

2nd Floor Conference Room

1. CALL TO ORDER:

The meeting was called to order at 9:00 am.

2. ROLL CALL:

Also present: Ron Paradise, Planning and Development Services; Phyllis Wallace, Public Works; Dinelia Santana, Planning and Development Services; Jerry Mayes, City Manager's Office; Kathrine Kyp, Planning and Development Services; Harry Newkirk, Newkirk Engineering; David Butler; Tristan Supratt, Traffic Engineering Data Solutions; Mikal Hale, Traffic Engineering Data Solutions; Victor Sutapaha, RaceTrac Petroleum and Rogers Haydon, CSC Properties, LLC.

Present: 5 - Member Leigh Grosvenor
Member Gerald Chancellor
Member Chris Bowley
Member Tom Pauls
Member Steve Roland

3. APPROVAL OF MINUTES & AGENDA:

A. Minutes for February 4, 2016

Motion by Member Pauls, seconded by Member Bowley, to approve the minutes of February 4, 2016 . The motion carried by the following vote:

For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

4. PRESENTATIONS/AWARDS/REPORTS:

5. PUBLIC FORUM:

6. OLD BUSINESS:

7. NEW BUSINESS:

A. Gold Choice ALF Final Plat Application - Revised (File No. FP15-003)

Motion by Member Pauls, seconded by Member Chancellor, to approve Gold Choice ALF Final Plat application with the conditions that the applicant satisfies the comments cited in the staff report. The motion carried by the following vote:

For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

B. Gold Choice ALF Final Site Plan Application - Revised (File No. FSP15-004)

Motion by Member Pauls, seconded by Member Bowley, to approve Gold Choice ALF Final Site Plan application with the conditions that the applicant satisfies the comments cited in the staff report. The motion carried by the following vote:

For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

C. RaceTrac Final Plat Application (File No. FP15-004)

Motion by Member Pauls, seconded by Member Bowley, to approve RaceTrac Final Plat application with the conditions that the applicant satisfies the comments cited in the staff report. . The motion carried by the following vote:

For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

D. RaceTrac Final Site Plan Application (File No. FSP15-005)

Motion by Member Pauls, seconded by Member Grosvenor, to approve RaceTrac Final Site Plan application with the conditions that the applicant satisfies the comments cited in the staff report.. The motion carried by the following vote:

For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

E. Pre-application Meeting - Dunkin Donuts at Deltona. Fort Smith Blvd. and Howland Blvd. (Parcel Id: 30-18-31-62-00-0020)

Mr. Haydon stated that the potential developments for the pre-applicaition meeting is a Dunkin Donuts and an O'Reillys Autoparts store. Discussion ensued regarding pedestrian accessibility, sidewalks, access, utilities, installation of a lift station and

reclaim water availability at the site.

Mr. Haydon and Staff discussed utilizing the plat application process to split the lot into two parcels. Discussion regarding the C1 zoning setbacks and the challenge regarding the landscape buffer between the two lots ensued. Discussion regarding the requirements of the tree survey, gopher tortoise survey as well as completing a scrub jay survey to be submitted with the application. Mr. Pauls advised Mr. Haydon that the site plan application goes to the DRC for approval and the final plat application goes before the City Commission for approval.

8. STAFF COMMENTS:

9. BOARD/COMMITTEE MEMBERS COMMENTS:

10. ADJOURNMENT:

The meeting adjourned at 10:44 am.

From: [George Huddleston](#)
To: [Scott McGrath](#); [Kat Kyp](#)
Cc: [Matthew West](#); [Jerry Mayes](#); [Ron Paradise](#)
Subject: Deltona FSER - Pre-App Request
Date: Monday, March 07, 2016 11:39:56 AM
Attachments: [Deltona FSER Schematic Plan Set.pdf](#)
[Deltona FSER Alternate Plan.pdf](#)
Importance: High

Hey Scott,

Per our previous meeting and conversations, I wanted to request a formal pre-application meeting for the Deltona Freestanding Emergency Room (FSER). I believe the next DRC meeting is next Thursday (3/17) at 9am. At your request, I have also copied Kat Kyp on this e-mail.

I've attached a binder PDF of our initial schematic plan set. One issue we want to discuss; however, is the timeline associated with the current property owner's Developer's Agreement and re-zone. Due to the schedule requirements of this project, we would like to assess a lot-split to break out a small project for only our project. We would then pursue a straight re-zone for this project only. I have attached a binder PDF of this alternate plan as well.

To summarize, we would like to discuss & review the following (along with any other contributions from staff) at the pre-application/DRC meeting:

- Current status of the land owner's Developer's Agreement, off-site improvements, and re-zone.
- Opportunity to lot-split our parcel in the southeast corner of the property and pursue a straight re-zone.
- Site requirements:
 - Site layout
 - Point(s) of connection (we understand that Graves Avenue is a County road and will require review with them as well)
 - Utility routing/connections
 - Stormwater concept/intent
- Any other pertinent requirements such as setbacks, buffers, landscaping, etc.
- Site permitting process & opportunities for expediting, early mass grading mobilization, etc.

I think that covers the major issues, but please let me know if you have any questions or concerns. I believe it will be myself & Matthew West (a senior planner in our office) in attendance. I plan to reach out to the owner as well, though I'm not sure if they will be in attendance.

As always, please feel free to call or e-mail me with any questions or concerns.

Thanks!

George Huddleston, PE
Senior Project Manager



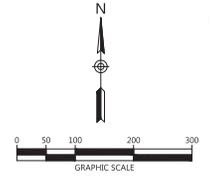
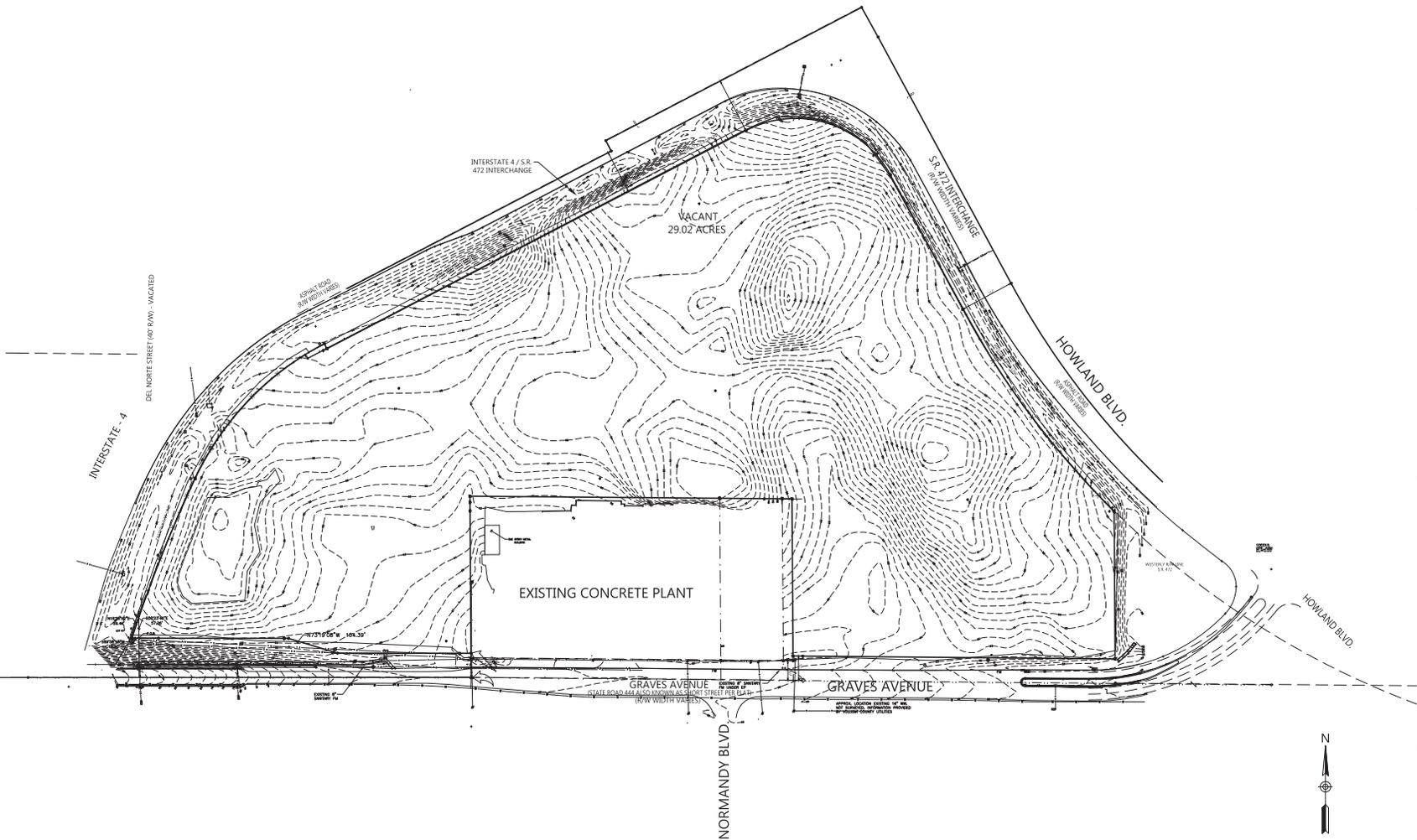
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PROJECT
215063.00

LOCATION
 Graves Avenue
 Deltona, FL 32725

CLIENT
 CENTRAL FLORIDA REGIONAL HOSPITAL
 1401 W. Seminole Blvd
 Sanford, FL 32771

DELTONA
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DESIGN
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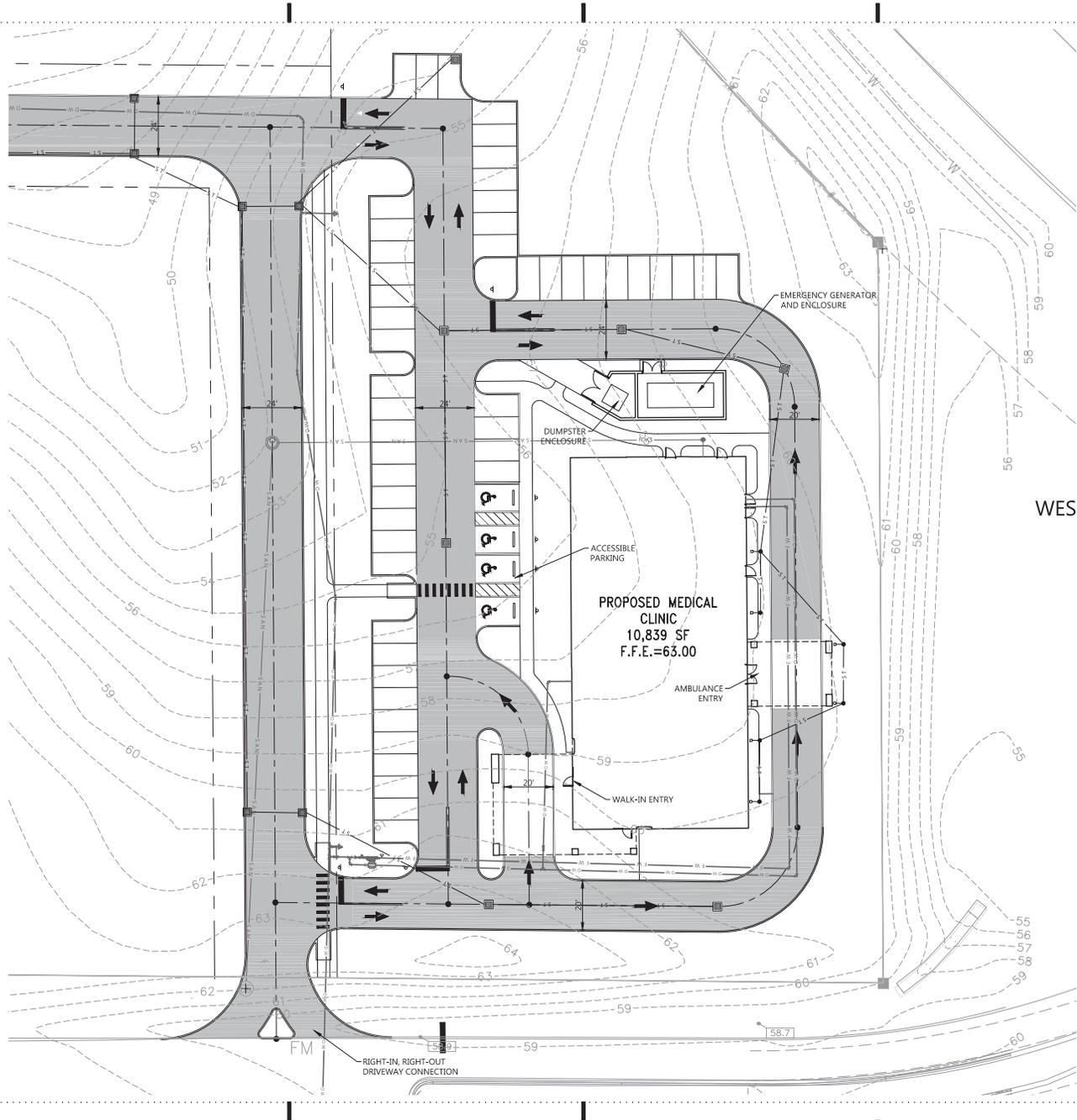
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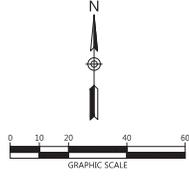
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PROPOSED FEATURES LEGEND

BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	



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PROJECT	215063.00
LOCATION	Graves Avenue Deltona, FL 32725
CLIENT	CENTRAL FLORIDA REGIONAL HOSPITAL 1401 W. Semnole Blvd Sanford, FL 32771

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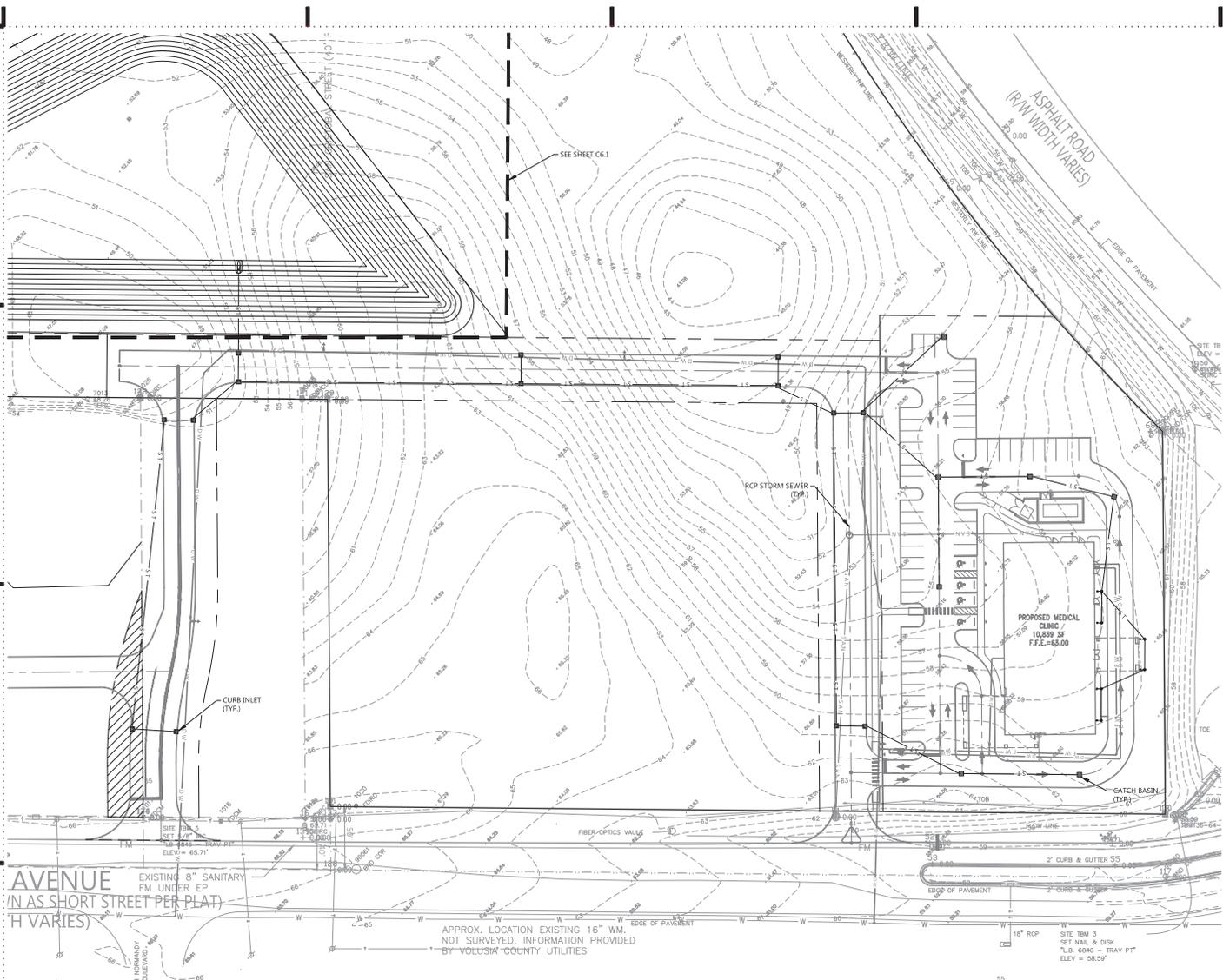
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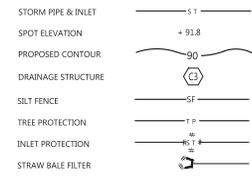
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GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1A	CURB INLET	
G1B	DOUBLE CURB INLET	
G2A	CATCH BASIN	
G2B	DOUBLE CATCH BASIN	
G3	JUNCTION MANHOLE	
G4	NDS DRAIN INLET	
G5	CLEANOUT	
G6A	CONCRETE HEADWALL - STRAIGHT	
G6B	CONCRETE HEADWALL - WINGED	
G7	BUILDING DOWNSPOUT CONNECTION	
G8	CONCRETE FLUME	
G9	DEFENTION POND OUTLET STRUCTURE	
G10	WATER QUALITY STRUCTURE	
G11	CURB CUT	
G12	SIDEWALK DRAIN	
G13	TRENCH DRAIN	
G14	SILT FENCE	
G15	RIPRAP AT HEADWALL	
G16	RAIN GARDEN	
G17	TRANSITION FROM FLUSH CONDITION TO 6" CURB OVER 30 FEET	
G18	FILTER FABRIC INLET PROTECTION	
G19	DANDY BAG INLET PROTECTION	

PROPOSED FEATURES LEGEND



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PROJECT LOCATION
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CLIENT
 CENTRAL FLORIDA REGIONAL HOSPITAL
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DELTONA
 FSER

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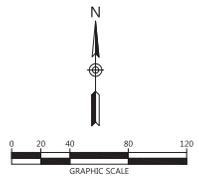
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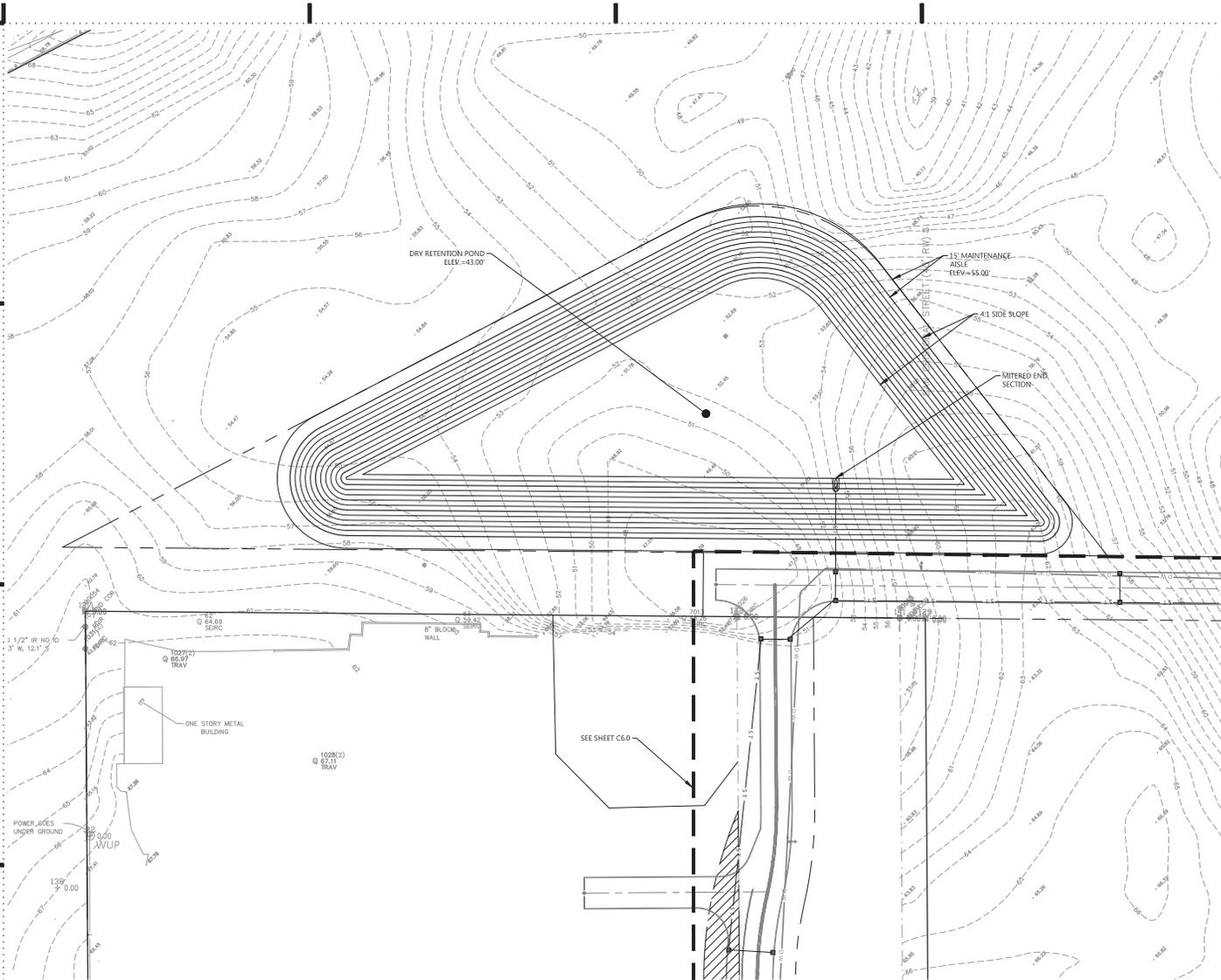
SHEET TITLE
 GRADING &
 DRAINAGE PLAN

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GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
C61	CURB INLET	
C61A	DOUBLE CURB INLET	
C62	CATCH BASIN	
C62A	DOUBLE CATCH BASIN	
C63	JUNCTION MANHOLE	
C64	NDS DRAIN INLET	
C65	CLEANOUT	
C66	CONCRETE HEADWALL - STRAIGHT	
C66B	CONCRETE HEADWALL - WINGED	
C67	BUILDING DOWNSPOUT CONNECTION	
C68	CONCRETE FLUME	
C69	DEFENTION POND OUTLET STRUCTURE	
C610	WATER QUALITY STRUCTURE	
C611	CURB CUT	
C612	SIDEWALK DRAIN	
C613	TRENCH DRAIN	
C614	SILT FENCE	
C615	RIPRAP AT HEADWALL	
C616	RAIN GARDEN	
C617	TRANSITION FROM FLUSH CONDITION TO 6" CURB OVER 5X FEET	
C618	FILTER FABRIC INLET PROTECTION	
C619	DANDY BAG INLET PROTECTION	

PROPOSED FEATURES LEGEND

- STORM PIPE & INLET — S 1
- SPOT ELEVATION + 93.8
- PROPOSED CONTOUR — 90
- DRAINAGE STRUCTURE — C6
- SILT FENCE — SF
- TREE PROTECTION — TP
- INLET PROTECTION — IP
- STRAW BALE FILTER — SB



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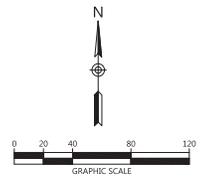
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 GRADING &
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SHEET
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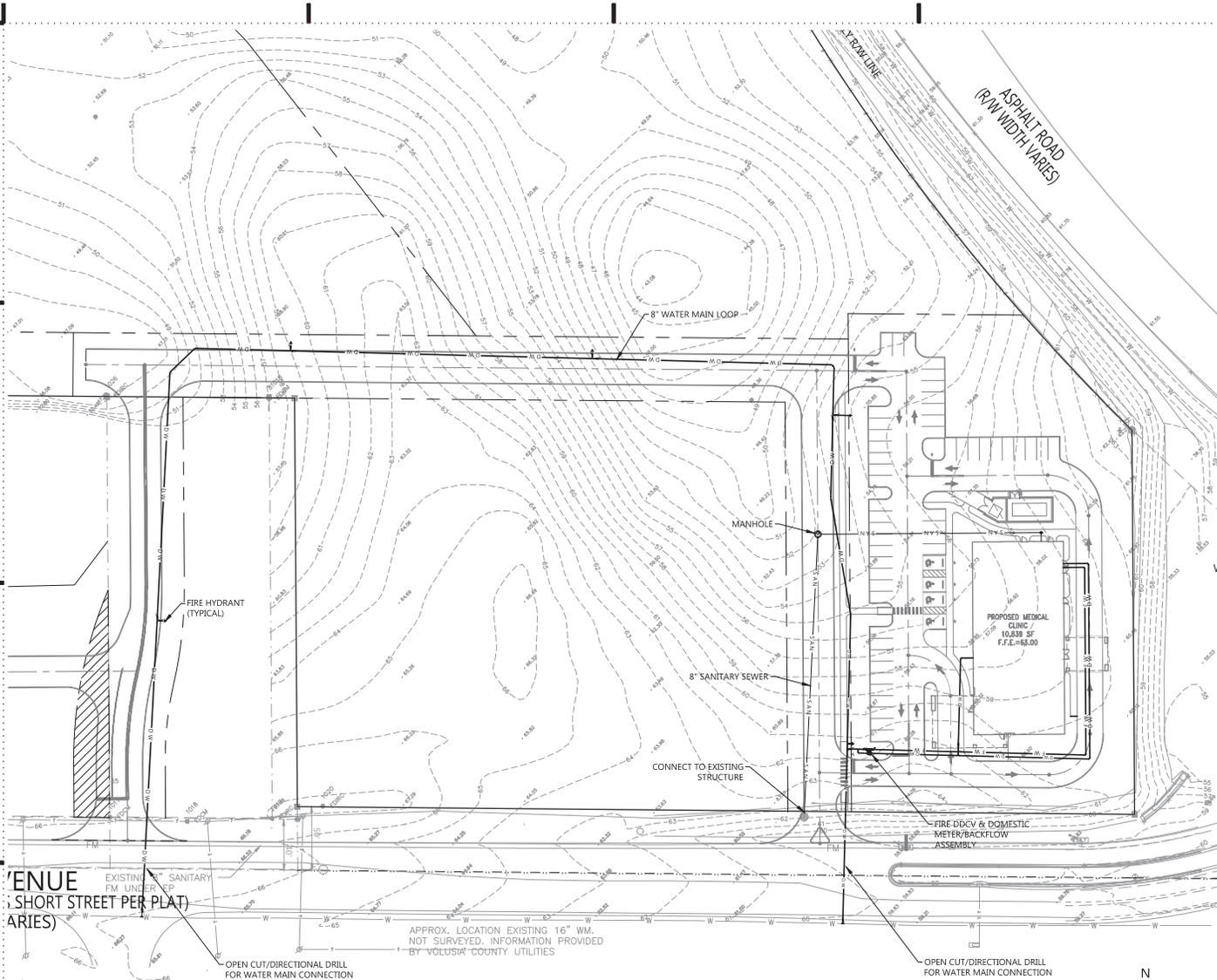


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UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
(U12A)	WATER LINE (SPECIFY SIZE)	
(U12B)	WATER LINE (SPECIFY SIZE)	
(U12C)	FIRE LINE (SPECIFY SIZE)	
(U20)	FIRE LINE (SPECIFY SIZE)	
(U3A)	IRRIGATION LINE (SPECIFY SIZE)	
(U3B)	IRRIGATION LINE (SPECIFY SIZE)	
(U4A)	WATER METER (SPECIFY SIZE)	
(U4B)	WATER METER (SPECIFY SIZE)	
(U5)	REDUCED PRESSURE BACKFLOW PREVENTER (SIZE)	
(U6)	DOUBLE DETECTOR CHECK VALVE ASSEMBLY (SIZE)	
(U7)	WATER BLOCKING/KICKERS	
(U8)	POST INDICATOR VALVE	
(U9)	FIRE DEPARTMENT CONNECTION	
(U10)	FIRE HYDRANT ASSEMBLY	
(U11)	WATER VALVE (SPECIFY SIZE)	
(U11A)	WATER VALVE (SPECIFY SIZE)	
(U12)	TEE (SPECIFY SIZE)	
(U12A)	TEE (SPECIFY SIZE)	
(U20)	SANITARY SEWER LINE (SPECIFY SIZE)	
(U20)	SANITARY SEWER LINE (SPECIFY SIZE)	
(U17)	SANITARY SEWER FORCE MAIN (SPECIFY SIZE)	
(U22)	SANITARY SEWER MANHOLE	
(U23)	SANITARY SEWER CLEANOUT	
(U24)	GREASE INTERCEPTOR	
(U30)	NATURAL GAS LINE (SPECIFY SIZE)	
(U31)	NATURAL GAS METER (SPECIFY SIZE)	
(U40)	ELECTRIC TRANSFORMER	
(U41)	UNDERGROUND ELECTRIC LINE	
(U42)	OVERHEAD ELECTRIC LINE	
(U43)	UNDERGROUND COMMUNICATION LINE	
(U44)	OVERHEAD COMMUNICATION LINE	
(U45)	SITE LIGHTING	
(U46)	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)	

PROPOSED FEATURES LEGEND	
DOMESTIC SERVICE	
FIRE SERVICE	
GAS LINE	
WATER LINE WITH 90° THRUST BLOCK	
SANITARY SEWER LINE WITH CLEANOUT	
NEW FIRE HYDRANT	
UNDERGROUND ELECTRIC	



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PROJECT **215063.00**
 LOCATION Graves Avenue
 Deltona, FL 32725
 CLIENT CENTRAL FLORIDA REGIONAL HOSPITAL
 1401 W. Semoran Blvd
 Sanford, FL 32771

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

DATES OF ISSUANCE
 02-29-2016

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SHEET TITLE **UTILITY PLAN**
C7.0

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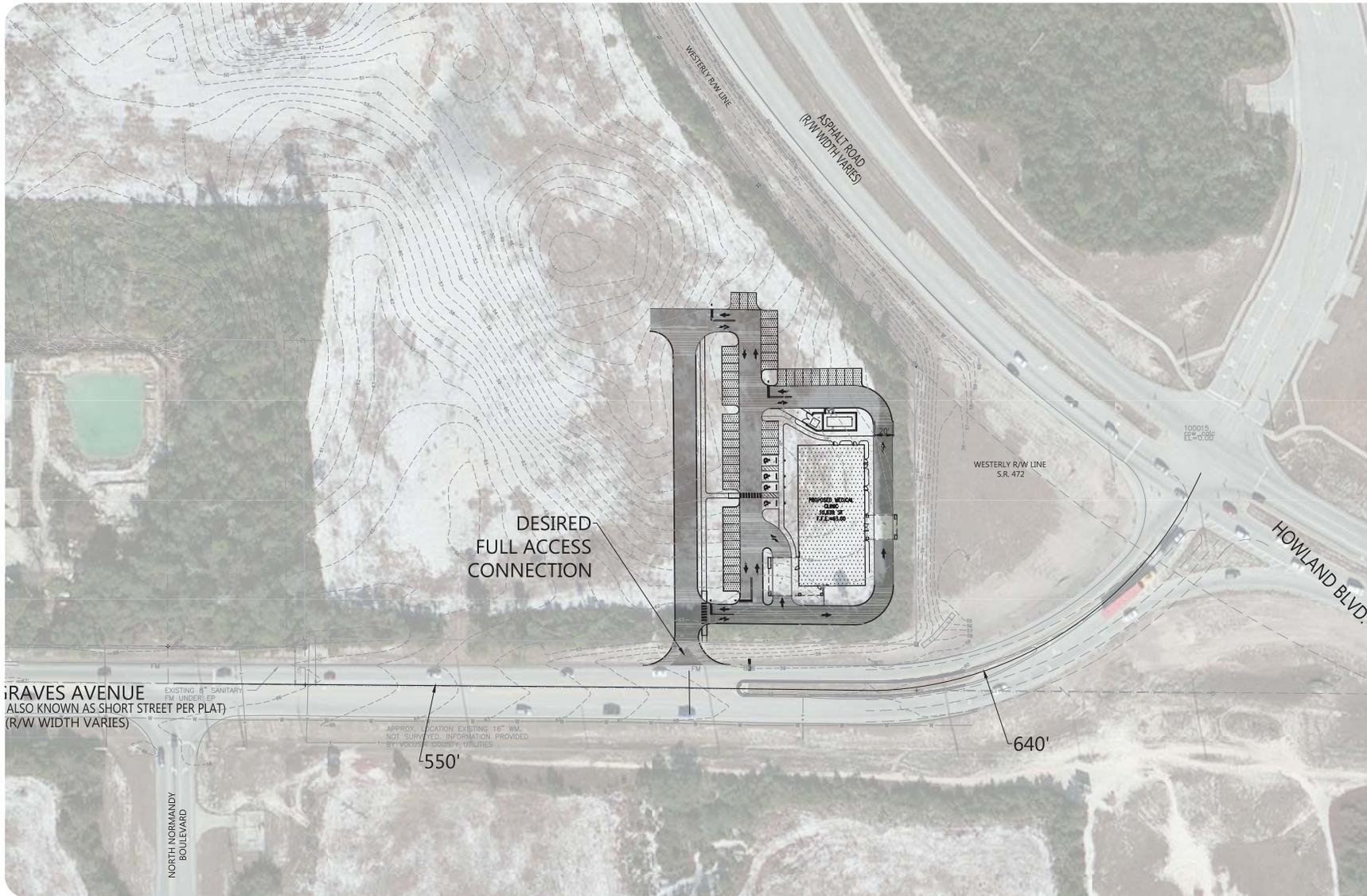
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TITLE
OVERALL SITE LAYOUT
PLAN

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DESIGN
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TITLE
 SITE LAYOUT PLAN

SHEET
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