

# City of Deltona

2345 Providence Blvd.  
Deltona, FL 32725

## Agenda

### Development Review Committee

*Member Leigh Grosvenor*  
*Member Gerald Chancellor*  
*Member Chris Bowley*  
*Member Tom Pauls*  
*Member Steve Roland*

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Thursday, May 19, 2016

9:00 AM

2nd Floor Conference Room

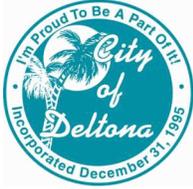
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1. CALL TO ORDER:
2. ROLL CALL
3. APPROVAL OF MINUTES & AGENDA:
  - A. [Minutes for April 21, 2016](#)
4. PRESENTATIONS/AWARDS/REPORTS:
5. PUBLIC FORUM:
6. OLD BUSINESS:
7. NEW BUSINESS:
  - A. [Pre-application meeting - 2120 Saxon Blvd. Lot 4.](#)
8. STAFF COMMENTS:
9. BOARD/COMMITTEE MEMBERS COMMENTS:

**10. ADJOURNMENT:**

*NOTE: If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).*

*Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk, Joyce Raftery 48 hours in advance of the meeting date and time at (386) 878-8500.*



# City of Deltona

2345 Providence Blvd.  
Deltona, FL 32725

## DRAFT Minutes - Final

### Development Review Committee

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Thursday, April 21, 2016

9:00 AM

2nd Floor Conference Room

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#### 1. CALL TO ORDER:

The meeting was called to order at 9:30 am.

#### 2. ROLL CALL:

Also present: Ron Paradise, Planning and Development Services; Scott McGrath, Planning and Development; Phyllis Wallace, Public Works; Chris Cornet, Public Works; Jerry Mayes, City Manager's Office; Jane Shang, City Manager's Office; Kathrine Kyp, Planning and Development Services; Ron Henson, AVID Group; Pete Pensa, AVID Group; Ashley Rumble, Development Equity Partners; Paul Holub, ; Turgut Dervish, Traffic Planning and Design, Inc.

**Present:** 5 - Member Leigh Grosvenor  
Member Gerald Chancellor  
Member Chris Bowley  
Member Tom Pauls  
Member Steve Roland

#### 3. APPROVAL OF MINUTES & AGENDA:

##### A. Minutes for April 7, 2016

**Motion by Member Roland, seconded by Member Pauls, to approve the Minutes for April 7, 2016. The motion carried by the following vote:**

**For:** 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

#### 4. PRESENTATIONS/AWARDS/REPORTS:

#### 5. PUBLIC FORUM:

#### 6. OLD BUSINESS:

#### 7. NEW BUSINESS:

##### A. Final Plat Application - Halifax Crossings, File No. FP16-001

**Motion by Member Chancellor, seconded by Member Roland, to Final Plat application, Halifax Crossings, File No. FP16-001. The motion carried by the following vote:**

**For:** 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Pauls and Member Roland

**B. Pre-application meeting - Providence Blvd. & Doyle Rd.**

Mr. Rumble provided information regarding the proposed Dollar Tree/retail development. He stated that the location is four (4) parcels on Debary Ave adjacent to the 7/11 gas station with the . Discussion ensued regarding the Enterprise Overlay District, St. Johns Rails to Trails and potential cross access easement with 7/11. Mr. Bowley stated that the Clerk of the Court would have a recorded Development Order noting the cross access easement.

Ms. Cornett noted that the development needs to maintain 15% open space, a tree survey submitted, environmental surveys completed. Discussion regarding the 25 foot wetland buffer ensued between Ms. Cornett and the applicants. Mr. Pauls stated that there is a 25 foot landscape buffer along Debary Ave and 5 foot along the side of the property.

Discussion occurred regarding signage, platting or combining lots, application processes, vehicular maneuverability and interior circulation.

**C. Pre-application meeting - Deltona Retail Projects**

Mr. Holub discussed the proposed developments. He noted that a Small Scale Map Amendment, Rezoning, and Combination of Lots and a Site Plan application would be submitted.

Discussion regarding utilities, liftstations and stormwater occurred between Mr. Chancellor and the applicants. Mr. Chancellor discussed the flooding that occurred during Tropical Storm Fay in the surrounding neighborhoods and advised the applicants of the groundwater seepage concerns. Mr. Newkirk noted that the retention pond would be lined and the discharge would be designed to prevent seepage.

Discussion with Mr. Holub occurred regarding the application fees and consulting fees. Mr. Bowley explained that the review of the Traffic Impact Analysis and the Plat will be sent to an outside company for review. Mr. Turgot noted that the Volusia County Traffic Division requested in the background information any developments that have been approved within three (3) miles. Mr. Bowley provided the names and locations of the recent developments that have been constructed and approved. Discussion regarding recent traffic studies, roadway maintenance, improvements and application process and timelines.

**8. STAFF COMMENTS:**

**9. BOARD/COMMITTEE MEMBERS COMMENTS:**

**10. ADJOURNMENT:**

The meeting was adjourned at 10:35 am.

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Chris Bowley, Chairperson

ATTEST:

\_\_\_\_\_  
Kathrine Kyp, Board Secretary



**Volusia County  
Property Appraiser**

**Morgan B. Gilreath Jr.  
M.A., C.F.A.**



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Home Search Choices Search By Parcel Number **Property Information**

Parcel Information: 8024-02-00-0040 **2016 Working Tax Roll** Last Updated: 05-08-2016

**Owner Name and Address**

<b>Alternate Key</b>	5693392	<b>Parcel Status</b>	Active Parcel (Real Estate)
<b>Short Parcel ID</b>	8024-02-00-0040	<b>Mill Group</b>	016 Deltona
<b>Full Parcel ID</b>	24-18-30-02-00-0040	<b>2015 Final Mill Rate</b>	24.46010
<b>Created Date</b>	20 MAY 1997		
<b>Property Class</b>	16 Community Shopping Centers		
<b>Ownership Type</b>	Fee Simple	<b>Ownership Percent</b>	100
<b>Owner Name</b>	SAXON PLAZA LLC		
<b>Owner Name/Address 1</b>			
<b>Owner Address 2</b>	625 SR 100		
<b>Owner Address 3</b>	PALATKA FL		
<b>Owner Zip/Postal Code</b>	32177		
<b>Situs Address</b>	2120 SAXON BLVD DELTONA 32725		

**Legal Description**

LOT 4 ALBERTSONS MB 46 PGS 46-47 INC PER OR 4867 PG 1543 PER OR 6858 PGS 1398-1400 INC PER OR 7045 PG 0929

**Sales History**

Book Page	Sale Date	Sale Instrument	Qualified Unqualified	Improved	Sale Price
7045	929 06/2014	Warranty Deed	Unqualified Sale	Yes	100
6858	1398 05/2013	Warranty Deed	Qualified Sale	Yes	2,000,000
4867	1543 05/2002	Warranty Deed	Qualified Sale	Yes	1,850,000
4682	1182 02/2001	Warranty Deed	Creative financing	Yes	425,000

**History of Values**

Year	Land	Bldg(s)	Misc. Impr.	Just Value	School Assessed	Non-School Assessed	School Exemption	School Taxable	Non-School Exemption	Non-School Taxable
2015	918,949	725,851	24,803	1,669,603	1,669,603	1,669,603	0	1,669,603	0	1,669,603
2014	918,949	687,355	31,624	1,637,928	1,637,928	1,637,928	0	1,637,928	0	1,637,928

**Land Data**

Code	Land Use Type	Frontage	Depth	No. Units	Unit Type	Rate	Depth	Loc	Shp	Phy	Just Value
1600	SHOPNG CTR COMMUNITY	0.0	0.0	150155.00	SQUARE_FEET	8.75	100	100	90	80	945,977
<b>Neighborhood</b> C9890 SAXON BLVD											
											<b>Total Land Classified</b>
											0
											<b>Total Land Just</b>
											945,977

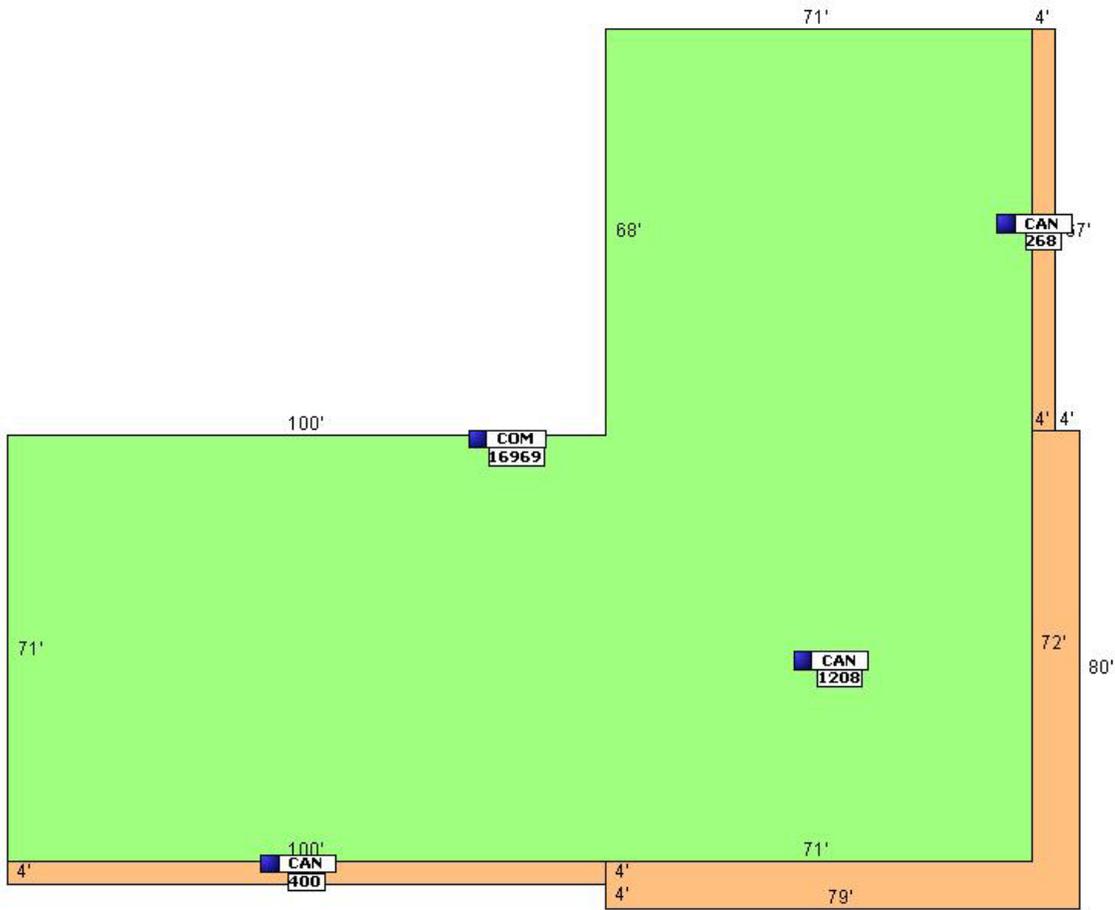
**Building Characteristics**

Building Number: 176505 (Building 1 of 1)

Bldg. No.	Property Type	Structure Type	Perimeter	Year Built	Quality Grade	Phys. Depr.	Func. Obs.	Loc. Obs.	Next Review
176505	Commercial	Concrete or Masonry	620	2001	300	17%	0%	20%	2999
Section Number	Avg. Wall Height	Number Stories	Year Built	Bsmnt%	Ground Floor Area	Interior Finish	Sect%	Sprinkler	A/C
001	18.00	1	2001	0.00	16969	Shopping Center, Community (16C )	100.00	Yes	Yes
002	18.00	1	2001	0.00	268	Canopy (CAN)	0.00	No	No
003	18.00	1	2001	0.00	1208	Canopy (CAN)	0.00	No	No
004	18.00	1	2001	0.00	400	Canopy (CAN)	0.00	No	No
<b>Exterior Wall Type</b>									<b>Area%</b>
44 Concrete Block, Stucco									28%
40 Concrete Block, Painted									72%

**Building Refinements**

Description	Number of Units	Unit Type
Baths, 2-Fixture		10 UB
Extra Fixture		3 UB



**Miscellaneous Improvements**

Improvement Type	Number of Units	Unit Type	Life	Year In	Grade	Length	Width	Depr. Value
FNV FENCE, VINYL	128	LF	15	2015	1	0	0	1,017
PVC PAVING CONCRET	2,588	SF	15	2001	3	0	0	3,851
PFL LIGHT PK LOT	5	UT	20	2001	4	0	0	822
BWL BLOCK WALL	56	LF	50	2001	3	0	0	632
PVA PAVING ASPHALT	71,574	SF	6	2001	1	0	0	19,325

**Parcel Notes (Click button below to display Parcel Notes)**

**Planning and Building**

Permit Number	Permit Amount	Date Issued	Date Complete	Construction Description	Occupancy Number	Occupancy Bldg
02 00464	12,000	08-10-2002		ADDITIONS/ALTERATION		1
02 01035	2,200	03-05-2002		MISCELLANEOUS		0

**Total Values**

<b>Land Value</b>	945,977	<b>New Construction Value</b>	1,017
<b>Building Value</b>	608,984	<b>City Econ Dev/Historic</b>	0
<b>Miscellaneous</b>	25,647		
<b>Just Value</b>	1,580,608	<b>Previous Just Value</b>	1,669,603
<b>School Assessed</b>	1,580,608	<b>Previous School Assessed</b>	1,669,603
<b>Non-School Assessed</b>	1,580,608	<b>Previous Non-School Assessed</b>	1,669,603
<b>Exemption Value</b>	0	<b>Previous Exemption Value</b>	0
<b>Additional Exemption Value</b>	0	<b>Previous Additional Exemption Value</b>	0
<b>School Taxable</b>	1,580,608	<b>Previous School Taxable</b>	1,669,603
<b>Non-School Taxable</b>	1,580,608	<b>Previous Non-School Taxable</b>	1,669,603

MapIT PALMS Map Kiosk

**MapIT:** Your basic parcel record search including lot dimensions.

**PALMS:** Basic parcel record searches with enhanced features.

**Map Kiosk:** More advanced tools for custom searches on several layers including parcels.



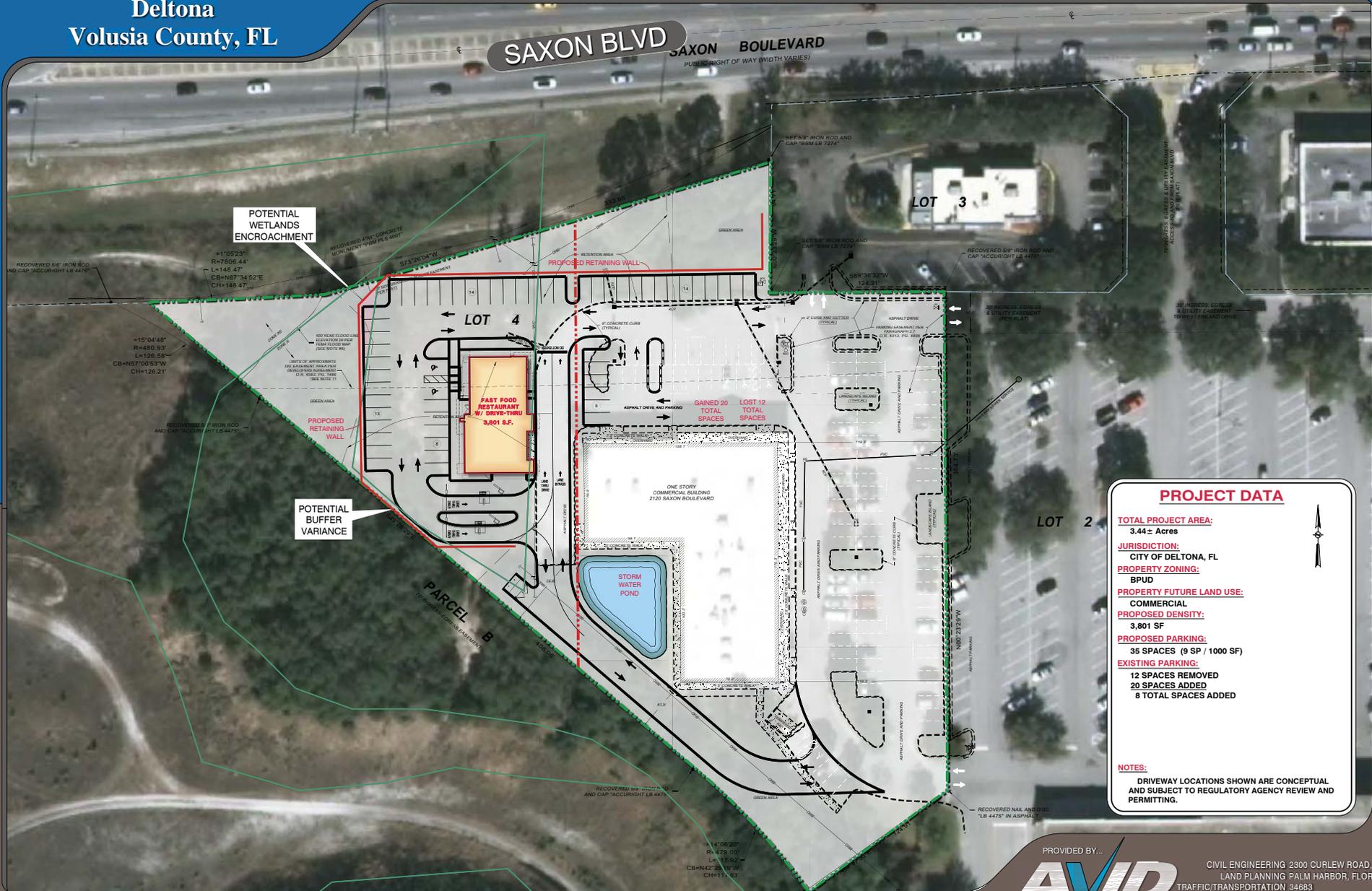
Scale 1:1,142 - 1 in = 96 ft



DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information source. PARCEL DATA VOLUSIA COUNTY PROPERTY APPRAISER

Saxon Plaza  
Deltona  
Volusia County, FL

CONCEPT PLAN "A"



**PROJECT DATA**

**TOTAL PROJECT AREA:**  
3.44 ± Acres

**JURISDICTION:**  
CITY OF DELTONA, FL

**PROPERTY ZONING:**  
BPUD

**PROPERTY FUTURE LAND USE:**  
COMMERCIAL

**PROPOSED DENSITY:**  
3,801 SF

**PROPOSED PARKING:**  
35 SPACES (9 SP / 1000 SF)

**EXISTING PARKING:**  
12 SPACES REMOVED  
20 SPACES ADDED  
8 TOTAL SPACES ADDED

**NOTES:**  
DRIVEWAY LOCATIONS SHOWN ARE CONCEPTUAL AND SUBJECT TO REGULATORY AGENCY REVIEW AND PERMITTING.

THIS CONCEPTUAL PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A SURVEY, TITLE REPORT, AND/OR DUE DILIGENCE. THIS CONCEPTUAL PLAN IS NOT AN EXACT DEPICTION OF FINAL FEATURES AND QUANTITIES (WALLS, POND LINERS, RETAINING WALLS, UTILITIES, ETC.), YIELD DEPICTED WITHIN THIS CONCEPTUAL PLAN IS PRELIMINARY AND IS SUBJECT TO CHANGE PENDING FINAL ZONING, ENVIRONMENTAL, DRAINAGE, UTILITY, AND/OR FLOODPLAIN ANALYSIS. THEREFORE, THIS PLAN SHALL BE REGARDED AS AN ESTIMATE OF THE FEASIBILITY OF THE PROJECT AND MAY NOT REFLECT ALL REGULATORY REQUIREMENTS AND CONSTRAINTS.

PROJECT NUMBER: 1012-708  
SCALE: 1" = 30' DATE: 04/26/18  
DRAWN BY: SSubs PROJ. MGR: SSubs

PROVIDED FOR...

**ANU Management, Inc.**



PROVIDED BY...  
CIVIL ENGINEERING 2300 CURLEW ROAD, STE 201  
LAND PLANNING PALM HARBOR, FLORIDA  
TRAFFIC/TRANSPORTATION 34683  
SURVEYING PHONE (727) 789-9500  
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