



# City of Deltona

2345 Providence Blvd.  
Deltona, FL 32725

## Agenda

### Development Review Committee

*Member Chris Bowley*  
*Member Matt Doan*  
*Member Leigh Grosvenor*  
*Member Scott McGrath*  
*Member Steve Roland*

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Thursday, November 3, 2016

9:00 AM

2nd Floor Conference Room

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**1. CALL TO ORDER:**

**2. ROLL CALL:**

**3. APPROVAL OF MINUTES & AGENDA:**

A. Minutes of October 20, 2016.

**4. PRESENTATIONS/AWARDS/REPORTS:**

**5. PUBLIC FORUM:**

**6. OLD BUSINESS:**

**7. NEW BUSINESS:**

A. Pre-application meeting - Howland Blvd. and Forest Edge Drive

B. Pre-application meeting - Hampton Roofing, 3124, 3136, 3148 Lake Helen  
Osteen Road.

**8. STAFF COMMENTS:**

**9. BOARD/COMMITTEE MEMBERS COMMENTS:**

**10. ADJOURNMENT:**

*NOTE: If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).*

*Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk, Joyce Raftery 48 hours in advance of the meeting date and time at (386) 878-8500.*



# City of Deltona

2345 Providence Blvd.  
Deltona, FL 32725

## Minutes

### Development Review Committee

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Thursday, October 20, 2016

9:00 AM

2nd Floor Conference Room

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#### 1. CALL TO ORDER:

The meeting was called to order at 9:00 am.

#### 2. ROLL CALL:

Also present: Ron Paradise, Planning and Development Services; Joseph Ruiz, Planning and Development Services; Kathrine Kyp, Planning and Development Services; Jerry Mayes, Economic Development; Chris Collier-Cornett, Public Works; Phyllis Wallace, Public Works; Matt Doan, Public Works; Sgt. Joel Turney, Volusia County Sheriff's Office; Joann Rubio, CARDNO; and Emily Johnson, CARDNO.

**Present:** 5 - Member Leigh Grosvenor  
Member Gerald Chancellor  
Member Chris Bowley  
Member Steve Roland  
Member Scott McGrath

#### 3. APPROVAL OF MINUTES & AGENDA:

##### A. Minutes of September 15, 2016

**Motion by Member Roland, seconded by Member Chancellor, to approve the Minutes of September 15, 2016. The motion carried by the following vote:**

**For:** 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Roland and Member McGrath

#### 4. PRESENTATIONS/AWARDS/REPORTS:

#### 5. PUBLIC FORUM:

#### 6. OLD BUSINESS:

#### 7. NEW BUSINESS:

#### 8. STAFF COMMENTS:

**A. Pre-Application Meeting - O'Reilly's Auto Parts, 3165 Howland Blvd.**

Ms. Rubio provided the committee with a background regarding the proposed O'Reilly's Auto Parts store. She noted that the existing land will be platted to show two lots and a shared stormwater tract. Discussion amongst the Committee and Ms. Rubio ensued regarding access, road improvements, architectural features application processes, stormwater run-off, hydrants and construction types.

Member Chancellor advised that improvements to Wolf Pack Run will need to be made, potentially moving the driveway further south. Mr. Paradise noted that a deceleration lane might be required on Howland Blvd. Discussion regarding traffic volume on Howland Blvd. and peak volume for the proposed O'Reilly's Auto Parts store ensued amongst Ms. Rubio and the committee. Ms. Rubio noted that a Traffic Impact Analysis is required by Volusia County Traffic Engineering and that the analysis is underway.

Ms. Rubio and the Committee discussed the plat process. Mr. Paradise noted that a replat is necessary to review the site plan and referred her to Chapter 106 in the Land Development Code. Member McGrath noted that the final site plan and plat application can be applied for together. He noted that the final site plans can be used as the construction plan set that is required for the plat applications.

Ms. Collier stated that the tree survey will need to be updated and show the 15% open space and the trees, in that area, greater than 1.5 inches will need to be surveyed.

Member Chancellor advised that the dumpster location, stormwater system and run off, inlet structures will need to be shown.

Member Grovesnor and Ms. Rubio discussed hydrants and the construction type of the site.

Discussion regarding utilities ensued amongst the committee and Ms. Rubio. Ms. Rubio noted that the utilities will be vacated and relocated. Discussion regarding stormwater ensued between Ms. Rubio and Member Bowley. They discussed the stormwater tract and the maintenance of the pond. Ms. Rubio stated that it would be outlined in the Covenants and Restrictions. Member Bowley noted that the overall maintenance language will need to be documented within the dedication block of the plat.

**9. BOARD/COMMITTEE MEMBERS COMMENTS:**

The Committee discussed the appointment of Matt Doan to replace Member Chancellor.

**Motion by Member Roland, seconded by Member Chancellor, to approve the appointment of Matt Doan to the Development Review Committee.**

**The motion carried by the following vote:**

**For: 5 - Member Grosvenor, Member Chancellor, Member Bowley, Member Roland and Member McGrath**

**10. ADJOURNMENT:**

The meeting was adjourned at 9:36 am.

\_\_\_\_\_  
Chris Bowley, Chairperson

ATTEST:

\_\_\_\_\_  
Kathrine Kyp, Board Secretary



## Pre-application Meeting Howland Blvd. & Graves Ave. (NEC), DELTONA

### Zoning:

- Overlay District
- Future Land Use
- Zoning - Allowable Use
- Building Setback requirements
- Maximum building height – Canopy & parapet
- Maximum FAR
- Maximum ISR/ Minimum Open Space requirements
- Site lighting requirements
- Alcohol Sales considerations
- Hours of operation considerations
- Special Use Permits – Any required?
- Gas Pumps – Special requirements? Concerns?
- Signage – allowable Site Signs

### Parking

- Parking requirements for C-store
- Parking requirements for Fast-food w drive-thru
- Compact spaces allowable?
- Does outdoor seating area count towards parking requirements?
- Loading zone requirements.

### Stormwater

- Drainage requirements for site
- Is the site in a special stormwater district/ area?
- What is the name of the drainage basin the site is located? Can a City drainage map be provided for this basin?
- Can 100% of retention be stored underground, if necessary?
- Does treatment need to be performed above ground?

### Utilities

- Where are the closest utility (water and wastewater) connection locations for this site?
- What are the sizes and material type of the existing water and sanitary sewer connections?
- If a fire hydrant flow test is required, who do we contact within the City to perform this test?

### Transportation

- What are the minimum and maximum allowable driveway requirements (max. width, max. radii, max. driveway slope, etc.)
- Is Howland Blvd. within FDOT, County or City jurisdiction?
- Is Forest Edge Dr. within FDOT, County, City or private jurisdiction?
- Access distance requirements/ concerns?
- Is there any R-O-W taking proposed that may impact this site?
- Is there any information available regarding the Howland Blvd. R-o-W?

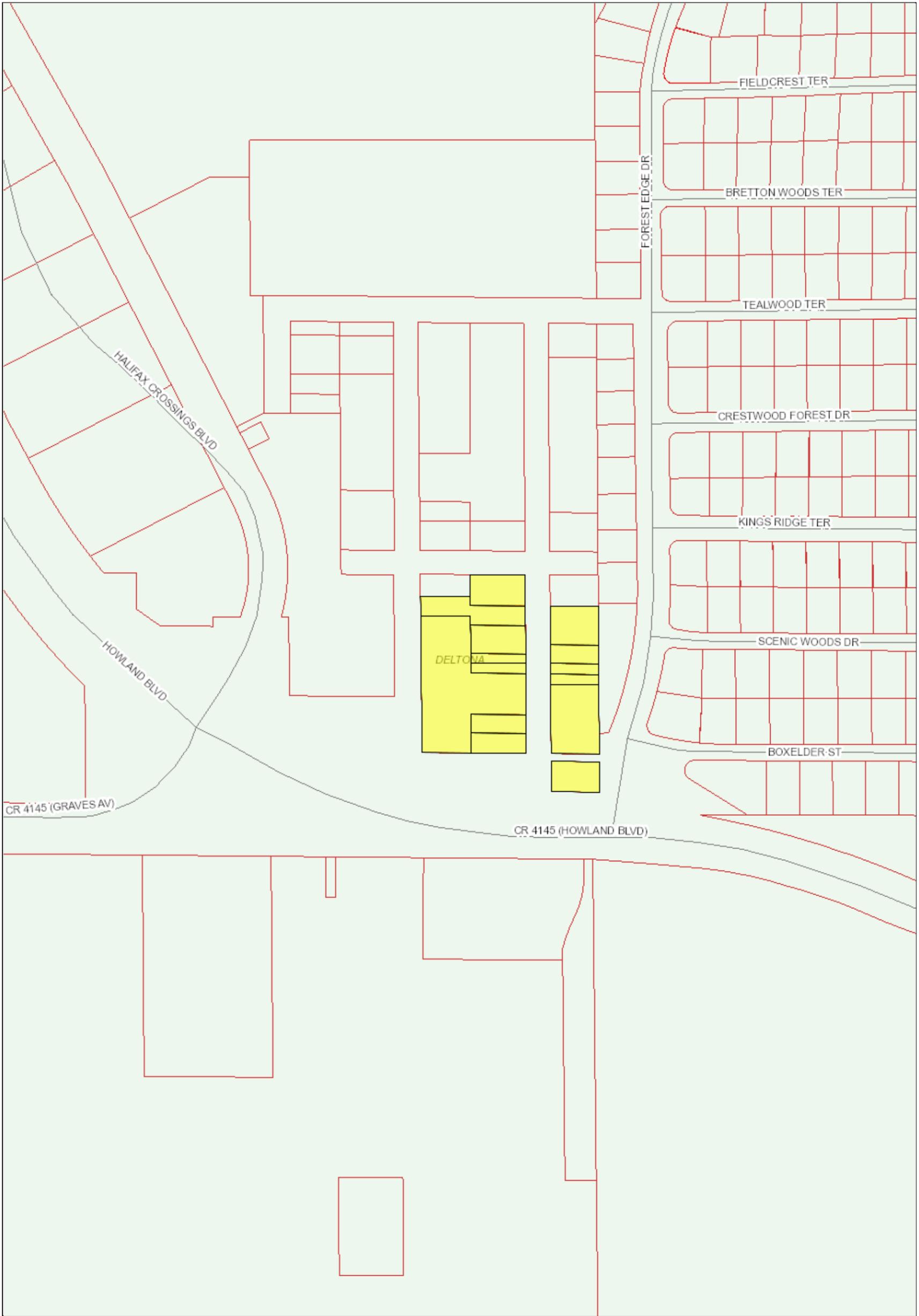


### **Landscape**

- Requirements for a commercial site
- Buffer requirements
- Minimum tree preservation requirements
- Tree removal process.
- Tree Bank?
- Is a reduction in buffers allowed?

### **Building**

- What Florida Building Code will be used to review the building plans?
- What is the minimum and maximum glazing requirement?
- Is the building required to be sprinklered?
- Are there any special architectural requirements?
- Maximum Building Height – Canopy & parapet.
- Building Signage – Allowable
- Are there any entrance requirements that require an entrance to face the R-o-W?
- Are there any issues with an overhead door on the building?



Scale 1:2,853 - 1 in = 241 ft  
 Date Created:  
 11-Oct-16 04:00 PM



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Scale 1:2,893 - 1 in = 241 ft  
 Date Created:  
 11-Oct-16 04:06 PM



# Volusia County Property Appraiser

**Morgan B. Gilreath Jr.**  
M.A., C.F.A.



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Parcel Information: 8106-06-09-0130 **2016 Preliminary Tax Roll** Last Updated: 10-09-2016

**Owner Name and Address**

<b>Alternate Key</b>	2571683	<b>Parcel Status</b>	Active Parcel (Real Estate)
<b>Short Parcel ID</b>	8106-06-09-0130	<b>Mill Group</b>	016 Deltona
<b>Full Parcel ID</b>	06-18-31-06-09-0130	<b>2015 Final Mill Rate</b>	24.46010
<b>Created Date</b>	20 DEC 1981		
<b>Property Class</b>	10 Vacant Commercial		
<b>Ownership Type</b>		<b>Ownership Percent</b>	100
<b>Owner Name</b>	ROSS JAMIE C		
<b>Owner Name/Address 1</b>			
<b>Owner Address 2</b>	209 BROOKGREEN WAY		
<b>Owner Address 3</b>	DELAND FL		
<b>Owner Zip/Postal Code</b>	32724		
<b>Situs Address</b>	MANGO (PAPER) ST DELTONA 32725		

**Legal Description**

LOTS 11 TO 14 INC & LOTS 29 TO 42 INC BLK 9 DAVIS PARK 3RD ADD PER OR 2245 PG 0902 PER D/C 3607 PG 0903 PER OR 6636 PG 3047

**Sales History**

Book Page	Sale Date	Sale Instrument	Qualified Unqualified	Improved	Sale Price
6636 3047	09/2011	Warranty Deed	Qualified Sale	No	40,900

**History of Values**

Year	Land	Bldg(s)	Misc. Impr.	Just Value	School Assessed	Non-School Assessed	School Exemption	School Taxable	Non-School Exemption	Non-School Taxable
2015	33,565	0	0	33,565	33,565	33,565	0	33,565	0	33,565
2014	33,565	0	0	33,565	33,565	33,565	0	33,565	0	33,565

[Display Value History](#)

**Land Data**

Code	Land Use Type	Frontage	Depth	No. Units	Unit Type	Rate	Depth	Loc	Shp	Phy	Just Value	
1000	VACANT COMMERCIAL	100.0	135.0	13500.00	SQUARE_FEET	0.85	100	100	65	100	7,459	
1000	VACANT COMMERCIAL	350.0	135.0	47250.00	SQUARE_FEET	0.85	100	100	65	100	26,106	
<b>Neighborhood</b> C8409 DELTONA ACTIVITY CENTER												
											<b>Total Land Classified</b>	0
											<b>Total Land Just</b>	33,565

**Parcel Notes (Click button below to display Parcel Notes)**

[Display Notes](#)

**Planning and Building**

Permit Number	Permit Amount	Date Issued	Date Complete	Construction Description	Occupancy Number	Occupancy Bldg
<a href="#">Display Permits</a>						

**Total Values**

<b>Land Value</b>	33,565	<b>New Construction Value</b>	0
<b>Building Value</b>	0	<b>City Econ Dev/Historic</b>	0
<b>Miscellaneous</b>	0		
<b>Just Value</b>	33,565	<b>Previous Just Value</b>	33,565
<b>School Assessed</b>	33,565	<b>Previous School Assessed</b>	33,565
<b>Non-School Assessed</b>	33,565	<b>Previous Non-School Assessed</b>	33,565

<b>Exemption Value</b>	<b>0 Previous Exemption Value</b>	<b>0</b>
<b>Additional Exemption Value</b>	<b>0 Previous Additional Exemption Value</b>	<b>0</b>
<b>School Taxable</b>	<b>33,565 Previous School Taxable</b>	<b>33,565</b>
<b>Non-School Taxable</b>	<b>33,565 Previous Non-School Taxable</b>	<b>33,565</b>

[MapIT](#) | [PALMS](#) | [Map Kiosk](#)

**MapIT:** Your basic parcel record search including lot dimensions.

**PALMS:** Basic parcel record searches with enhanced features.

**Map Kiosk:** More advanced tools for custom searches on several layers including parcels.

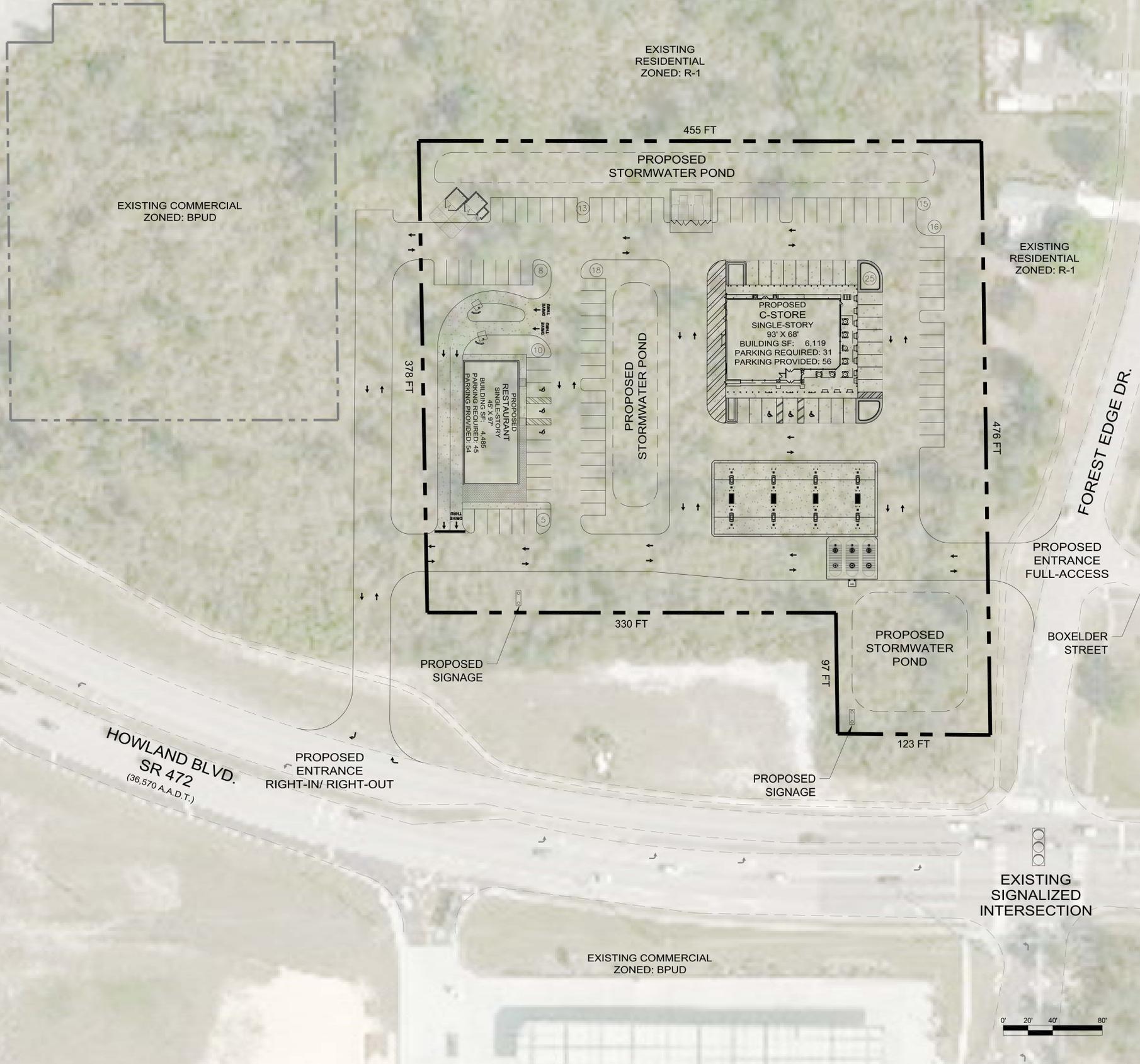


SITE DATA				
USE	SITE AREA (+/- AC.)	BLDG AREA (SF)	REQUIRED PARKING	PROVIDED PARKING
C-STORE	2.49	6,119	31	56
RESTAURANT	1.73	4,485	45	54
TOTAL	4.22	10,604	76	110

FAST-FOOD REQUIRES 10 SPACES PER 1,000 SF.  
C-STORE REQUIRES 5 SPACES PER 1,000 SF.

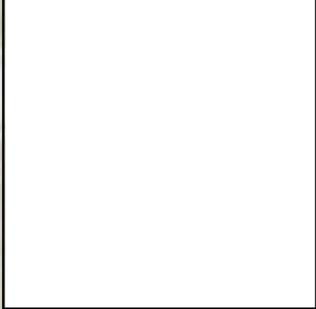
NOTES:

- 1.) THE SITE IS ZONED R-1 AND MAY REQUIRE REZONING.
- 2.) SITE IS WITHIN THE CITY OF DELTONA JURISDICTION.
- 3.) HOWLAND BLVD. IS WITHIN FDOT JURISDICTION.
- 4.) FOREST EDGE DR. IS WITHIN CITY JURISDICTION.
- 5.) BUILDING SETBACKS  
FRONT 25-FT  
SIDE 10-FT 40-FT RESIDENTIAL  
REAR 10-FT 40-FT RESIDENTIAL
- 6.) LANDSCAPE/ BUFFER REQUIREMENTS  
FRONT 25-FT  
SIDE 5-FT 30-FT RESIDENTIAL  
REAR 5-FT
- 7.) UNDERGROUND DETENTION MAY BE REQUIRED.
- 8.) THIS PLAN WAS DRAWN BASED ON TAX MAP INFORMATION AND SHOULD BE ASSUMED TO BE APPROXIMATE. THIS PLAN IS CONCEPTUAL ONLY AND ALL BOUNDARIES, ROADWAYS, ETC. ARE NOT EXACT.
- 9.) ENTRANCE LAYOUT IS CONCEPTUAL AND HAS NOT BEEN REVIEWED BY JURISDICTIONAL AGENCIES. LAYOUT IS SUBJECT TO CHANGE.



STORE	BUILDING
NEW..... <input type="checkbox"/>	NEW..... <input type="checkbox"/>
REMODELING..... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION..... <input type="checkbox"/>	NEW SHELL..... <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

VICINITY MAP

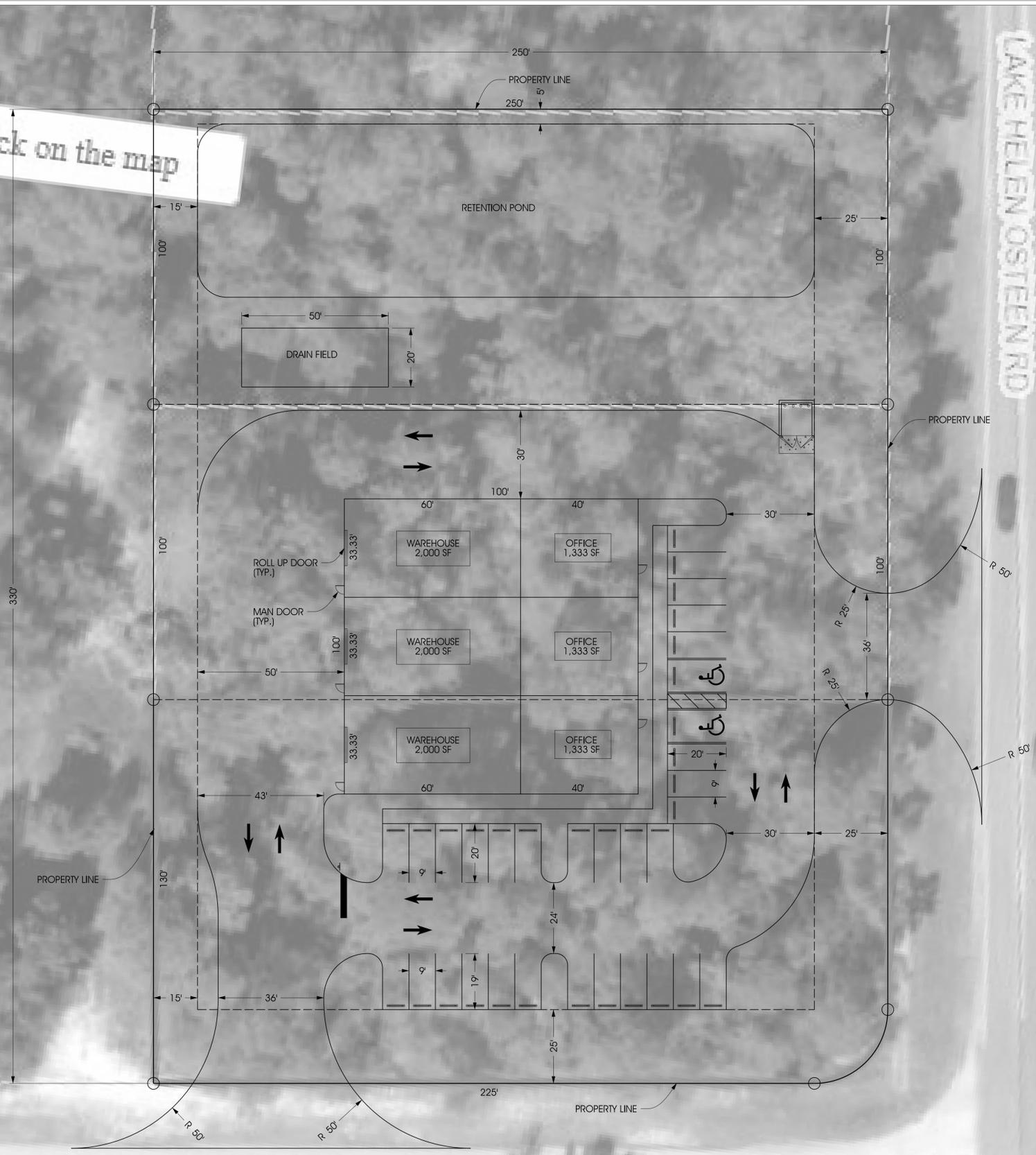


REVISIONS			
NO.	DATE	BY	DESCRIPTION

CERTIFICATION AND SEAL

PROJECT NAME <b>PROPOSED C-STORE/ RESTAURANT</b>		
HOWLAND BLVD. & FOREST EDGE DR. (NWC) DELTONA - VOLUSIA COUNTY - FLORIDA		
DRAWING TITLE <b>PRELIMINARY SITE PLAN</b>		
DATE: 10-14-2016	STORE NO.:	DRAWING NO.:
DESIGNED BY: WFP	SCALE: 1" = 40'	<b>S2</b> OF DWGS.
REVIEWED BY:	RELEASED TO CONSTRUCTION:	

Click on the map



ENGINEERING	PLANNING	DESIGN	PERMITTING
PROJECT: HOPTON ROOFING DELTONA		SHEET TITLE: CONCEPT PLAN	
REVISIONS:		DATE	BY
DESCRIPTION		DATE	DESCRIPTION

**EPI**  
 ENGINEERED PERMITS, INC.  
 311 SOUTH WOODLAND BLVD.  
 SUITE A  
 DELTONA, FL 32720  
 PHONE: 386-734-0800  
 FAX: 386-734-8226  
 CERT NO. 20398  
 EMAIL: epi@epieng.net

MICHAEL WOUTJUNIAK, P.E.  
 EMAIL: mwoutjuniak@epieng.net

SHEET NO.  
 1 OF 1